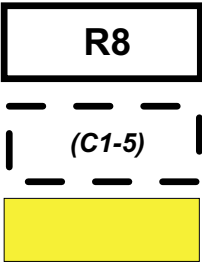


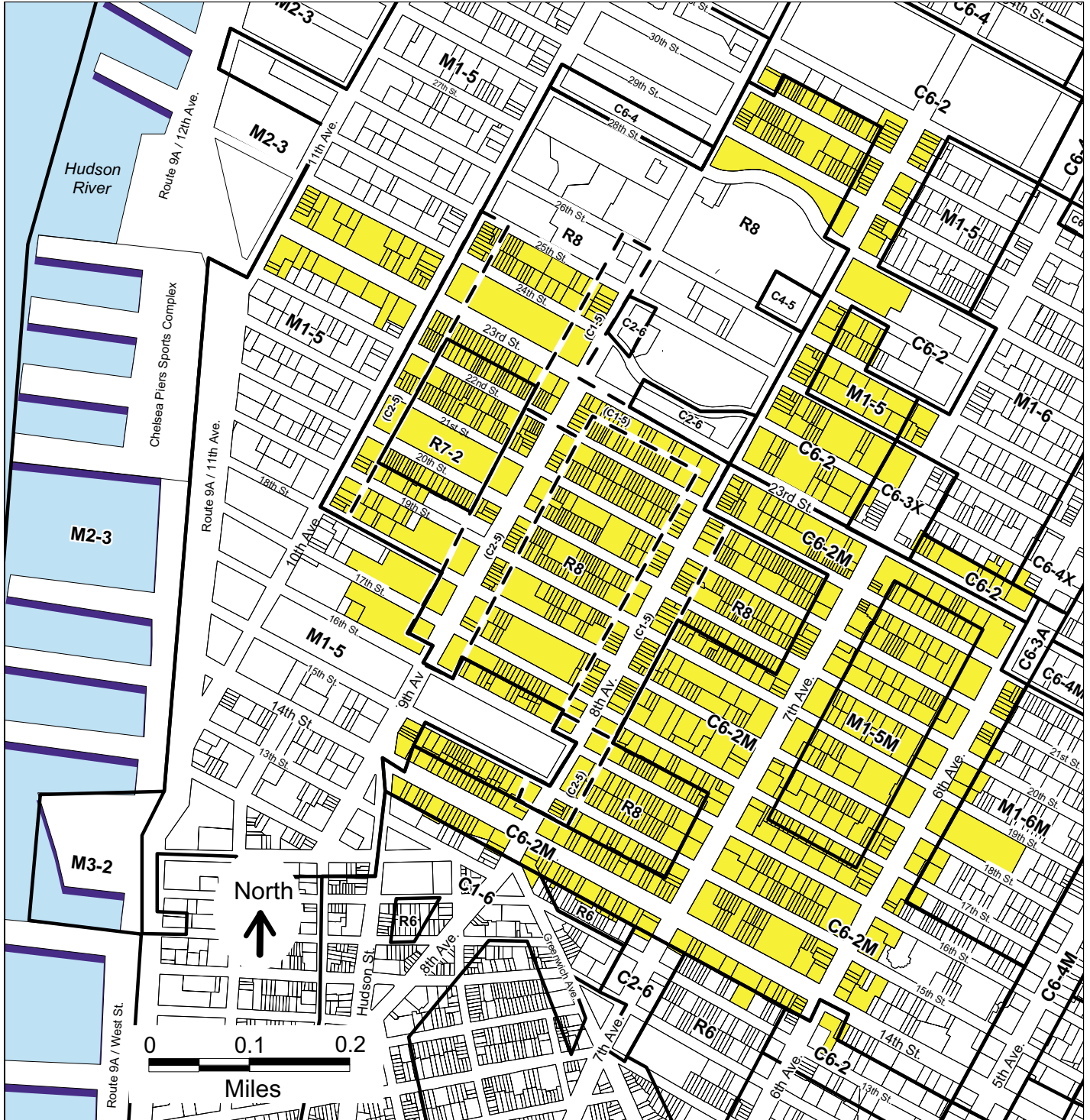
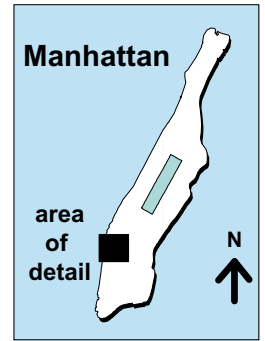
Pre-Existing Zoning Districts in Chelsea



designation and boundary of zoning district existing before 9/9/99

local commercial overlay district within R8 district; existing before 9/9/99

tax lot (all or in part) affected by new zoning district effective 9/9/99



NOTE: Not all zoning districts are shown outside of area affected by new zoning districts.

NOTE: This map for illustrative purposes only. Check for exact zoning district boundaries.

CHELSEA REZONING

NYCDCP / 13 OCT 99 / 6

Pre-Existing Zoning Districts in Chelsea Rezoning Area

Pre-Existing Zoning District	Maximum Permitted Floor-Area Ratio (FAR)	Minimum Permitted Streetwall Height	Maximum Permitted Streetwall Height	Maximum Permitted Building Height
R7-2 ¹	3.44 residential	none	will vary ²	will vary ²
R8 ¹	6.02 residential	none	will vary ²	will vary ²
C6-2	6.02 residential 6.00 commercial	none	will vary ²	will vary ²
C6-2M ³	6.02 residential 6.00 commercial	none	will vary ²	will vary ²
M1-5	5.00 manufacturing 5.00 commercial	none	will vary ²	will vary ²
M1-5M ³	5.00 manufacturing 5.00 commercial	none	will vary ²	will vary ²
M1-6	10.00 manufacturing 10.00 commercial	none	will vary ²	will vary ²

Notes:

1. Where commercial overlays are mapped in these residential areas (C1-5 or C2-5) 2 FAR of commercial is allowed. The overall permitted maximum FAR is the same as permitted by the underlying residential district for residential development.
2. Maximum streetwall heights and building heights are not specified for non-contextual districts. Building bulk is instead determined by other factors including the permitted FAR, the required open space ratio (OSR) and the building's relation to the sky exposure plane (SEP).
3. The 'M' suffix denotes a requirement that non-residential buildings being converted to residential use must preserve a specified amount of manufacturing or commercial space in that building or another building within a defined area of East Chelsea (Z.R. Section 15-20).